

Memo



Date: June 29, 2010

To: City Manager

From: Community Sustainability Division

File No: Z10-0048

Applicant: Surinder Bhullar
Davinder Bhullar

At: 1356 Montenegro Drive

Owner(s): Surinder Bhullar
Davinder Bhullar

Purpose: To rezone the subject property from RU1h - Large Lot Housing (hillside area) zone to the RU1hs Large Lot Housing (hillside area) with a secondary suite zone to construct a secondary suite within a single family dwelling.

Existing Zone: RU1h - Large Lot Housing (hillside area) zone

Proposed Zone: RU1hs- Large Lot Housing (hillside area) with a secondary suite zone

Report Prepared by: Paul McVey

1.0 RECOMMENDATION:

THAT Rezoning Application No. Z10-0048 to amend the City of Kelowna Zoning Bylaw No. 8000, by changing the zoning classification of Lot 2, Section 13, Township 26, ODYD Plan KAP84278, located at 1356 Montenegro Drive, Kelowna, BC, from the RU1h - Large Lot Housing (hillside area) zone to the RU1hs Large Lot Housing (hillside area) with a secondary suite zone be considered by Council;

AND THAT the zone amending bylaw be forwarded to a Public Hearing for further consideration;

AND THAT a building permit for the suite be applied for prior to final adoption of the zone;

AND THAT final adoption of the zone amending bylaw be considered subsequent to the requirements of the Black Mountain Irrigation District being completed to their satisfaction.

2.0 SUMMARY:

This application is seeking to rezone the subject property from the RU1h - Large Lot Housing (hillside area) zone to the RU1hs Large Lot Housing (hillside area) with a secondary suite zone to allow the construction of a secondary suite within the basement of a new dwelling.

3.0 BACKGROUND:

The subject property currently has a new dwelling under construction. The applicant wishes to rezone the property to the RU1hs - Large Lot Housing (hillside area) with secondary suite zone in order to allow the construction of a suite in the basement of the new dwelling. There is no

Development Permit required as the proposed suite is located within the dwelling, with no additional exterior construction required.

The proposed application meets the requirements of RU1hs- Large Lot Housing with a secondary suite zone follows:

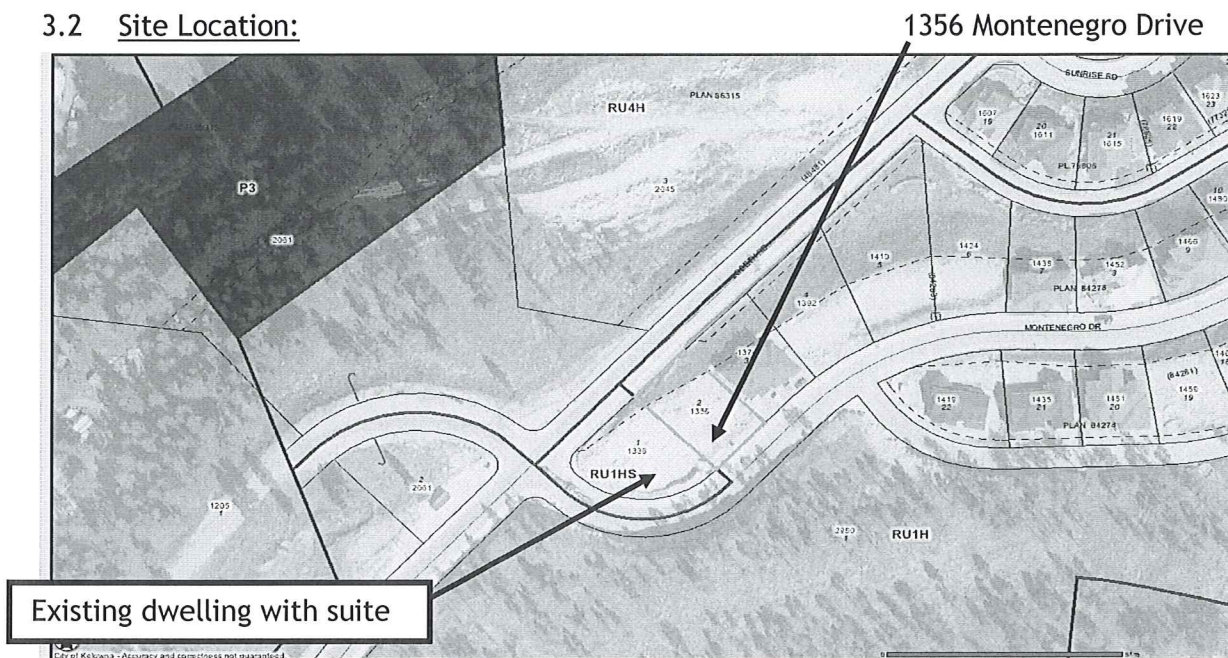
Zoning Bylaw No. 8000		
CRITERIA	PROPOSAL	RU1hs ZONE REQUIREMENTS (Suite within Principal Dwelling)
Subdivision Regulations		
Lot Area	697.26 m ²	550 m ²
Lot Width	22.87 m	15.0 m (with lane access)
Lot Depth	30.48 m	30.0 m
Development Regulations		
Site Coverage (buildings)	36%	40%
Site Coverage (buildings/parking)	42%	50%
Height (existing house)	7.84 m / 2 storeys	2 ½ storeys / 9.5 m
Floor Area of principal dwelling	458.4 m ²	
Floor Area of Secondary Suite / Size ratios	86.7 m ² / 19%	In building can't exceed lessor of 90 m ² or 40%
Front Yard	6.29 m	6.0 m to garage
Side Yard (north)	2.4 m	2.3 m (2 - 2 ½ storey)
Side Yard (south)	2.4 m	2.3 m (2 - 2 ½ storey)
Rear Yard	11.75 m	7.5 m
Other Requirements		
Parking Stalls (#)	3 spaces provided	3 spaces
Private Open Space	Meets requirements	30m ² requirement

3.1 Site Context

The subject property is located on the north west side of Montenegro Drive, in the Black Mountain area of Kelowna. More specifically, the adjacent land uses are;

North West	RU1h - Large Lot Housing (hillside area)	- vacant
North East	RU1h - Large Lot Housing (hillside area)	- single unit residential
South West	RU1hs - Large Lot Housing (hillside area)	with secondary suite
South East	RU1h - Large Lot Housing (hillside area)	- vacant

3.2 Site Location:



5.0 CURRENT DEVELOPMENT POLICY

Kelowna 2020 - Official Community Plan

The subject property is designated as Single/Two Unit Residential in the Official Community Plan. Relevant policies are included below.

Housing Policies:

Infrastructure Availability¹. Give preference to supporting new housing in areas where required services already exist or can be provided most economically and efficiently;

Integration². Encourage the sensitive integration of different housing forms in the various sectors of the City, in support of neighbourhood diversity and healthy communities;

Secondary Suites³. Encourage, under the conditions stipulated in the Zoning Bylaw, the creation of secondary suites.

6.0 TECHNICAL COMMENTS

The application has been submitted to various technical agencies and City departments, and the following relevant comments have been submitted:

6.1 Development Engineering

See attached.

6.2 Fire Department

Requirements of Section 9.36, Secondary Suites, of the BCBC 2006 are to be met. Fire separations are required between the suite and the main home as per BCBC 2006.

¹ Official Community Plan, Policy #8-1.30

² Official Community Plan, Policy #8-1.44

³ Official Community Plan, Policy #8-1.47

6.3 Bylaw Services

No concerns.

6.4 Building and Permitting Branch

- 1) Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permits
- 2) Operable bedroom windows required as per the 2006 edition of the British Columbia Building Code (BCBC 06).
- 3) Provide the City of Kelowna Bulletin #88-02 (Secondary Suites Requirements in a single family dwelling) for minimum requirements. The drawings submitted for Building Permit application is to indicate the method of fire separation between the suite and the main dwelling.
- 4) Range hood above the stove and the washroom to vent separately to the exterior of the building. The size of the penetration for this duct thru a fire separation is restricted by BCBC 06, so provide size of ducts and fire separation details at time of Building Permit Applications
- 5) Full Plan check for Building Code related issues will be done at time of Building Permit applications

7.0 LAND USE MANAGEMENT DEPARTMENT COMMENTS

This proposal allows for more efficient use of the subject property and helps to diversify the housing supply in the area. The Land Use Management Department notes that policies within the Official Community Plan support the sensitive integration into existing neighbourhoods, where services are already in place and densification can easily be accommodated. Minimal impact (if any) is anticipated on abutting properties, as parking requirements and private open space provisions can easily be achieved on-site.



Danielle Noble
Manager, Urban Land Use

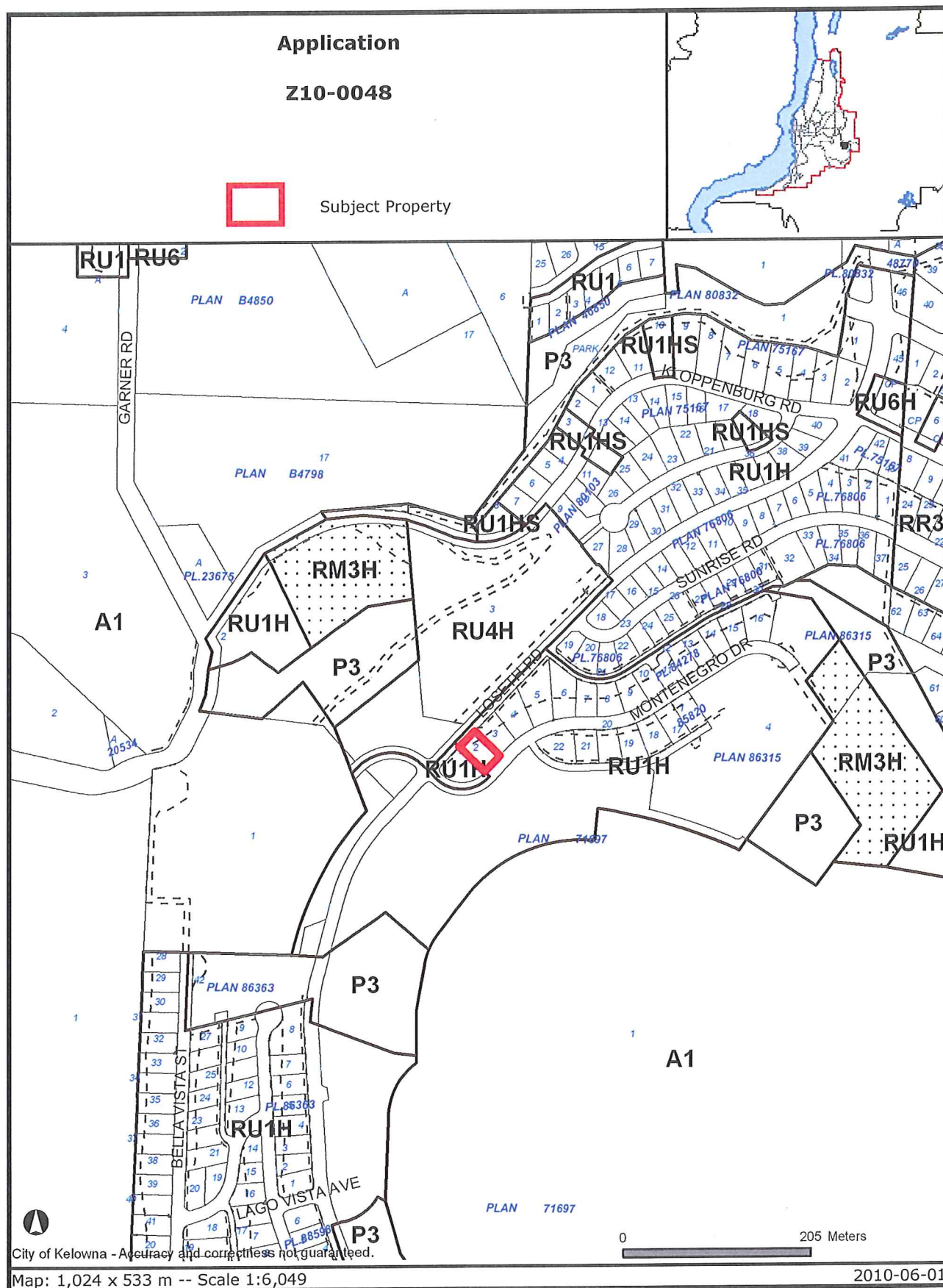
Approved for inclusion: 

 Shelley Gambacort
Director, Land Use Management

Attachments:

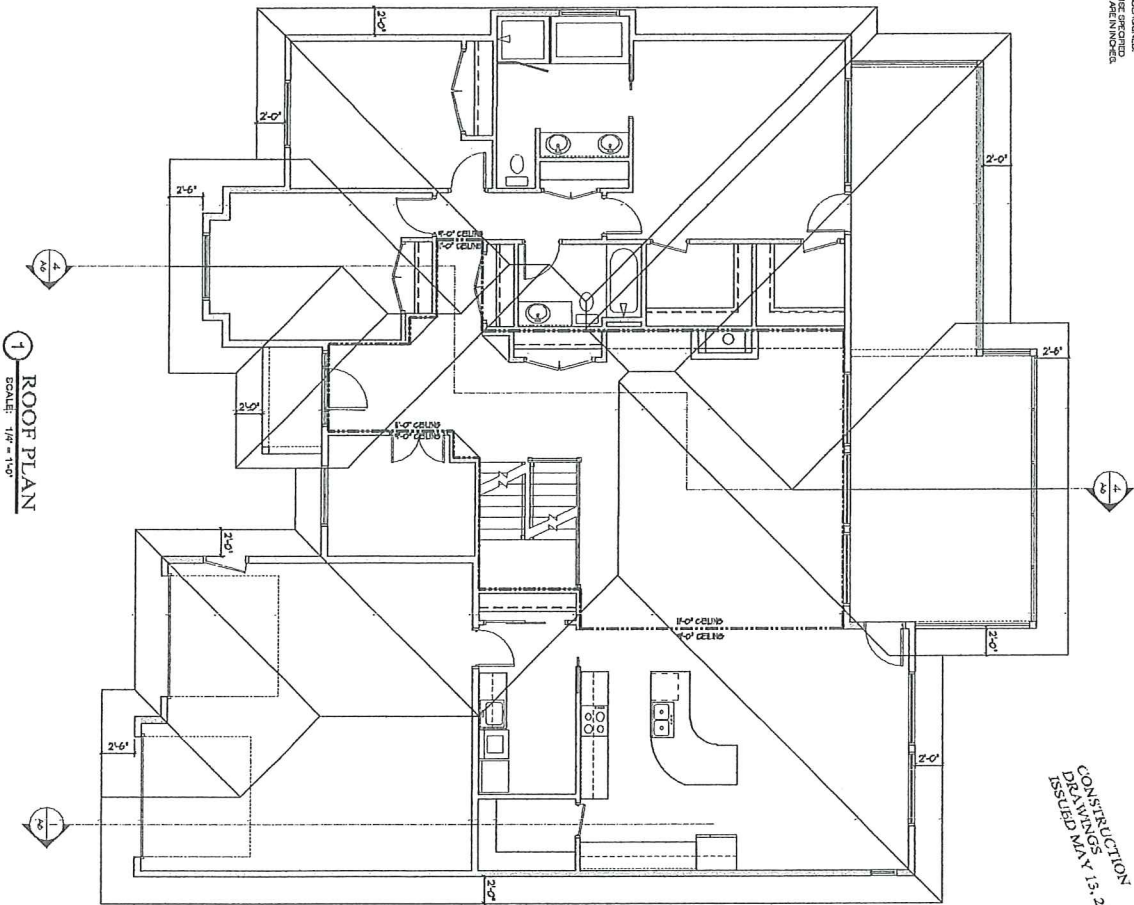
Subject Property Map
Site Plan
Floor Plans
Building Elevations

Date Application Accepted: May 31, 2010



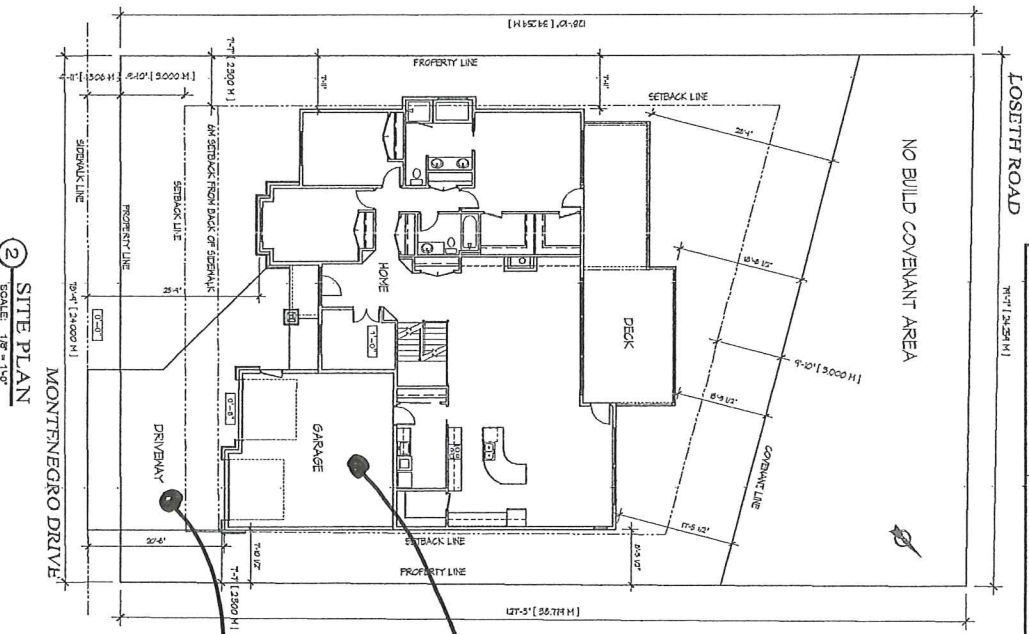
Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.
The City of Kelowna does not guarantee its accuracy. All information should be verified.

NOTE: THE UNDESIGNED PORTION AND ANY
RESULTING FROM ANY VARIATIONS FROM
THESE DRAWINGS SHALL BE THE RESPONSIBILITY
OF THE OWNER. THE OWNER SHALL
CONTACT THE UNDERGROUND
UTILITY ENGINEER BEFORE
ANY CONSTRUCTION BEGINS.



1 ROOF PLAN
SCALE: 1/8" = 1'-0"

CONSTRUCTION
DRAWINGS
ISSUED MAY 13, 2010



2 SITE PLAN
SCALE: 1/8" = 1'-0"

SITE CALCULATIONS:	
FLOOR AREAS:	2,501 SQ. FT.
MAIN FLOOR:	2,433 SQ. FT.
LOWER FLOOR:	2,433 SQ. FT.
TOTAL FLOOR AREA:	2,433 SQ. FT.
DECK AND PORCH:	542 SQ. FT.
GARAGE:	542 SQ. FT.
LOT SIZE:	10,133 SQ. FT.
SITE COVERAGE:	3.62% = 35.77%

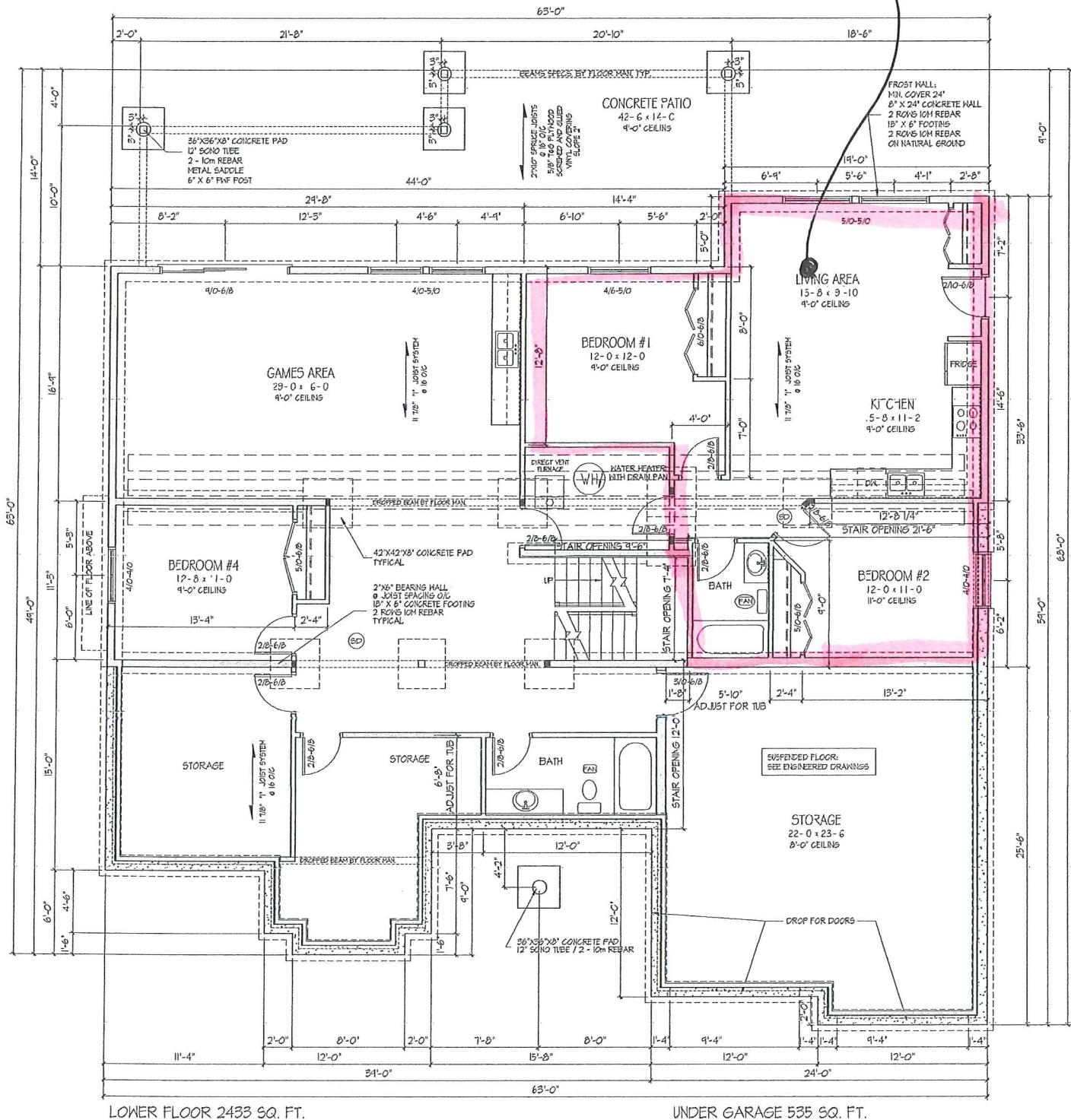
LIST OF DRAWINGS:	
ARCHITECTURAL DRAWINGS:	
A1 SITE & ROOF PLAN	
A2 LOWER FLOOR PLAN	
A3 MAIN FLOOR PLAN	
A4 ELEVATIONS	
A5 ELEVATIONS	
A6 SECTIONS & DETAILS	

SHEET: A1 00 - 6 5103-15	SCALE: 1/8" = 1'-0" DATE: MAY 11, 2010 DRAWN BY: JIM LAMB REVISED: MAY 11, 2010	CUSTOMER: MR. & MRS. BRULLAR CHOC: 1355 MONTENEGRO DRIVE LEGAL: LOT 2, PLAN KAP 64278 SUBDIVISION: KUSCHNER MOUNTAIN - PHASE 2	PROJECT: BRULLAR RESIDENCE DRAWING TITLE: SITE & ROOF PLAN	VINTAGE DESIGN LTD. 2100 CHILCOTH CRES. KELOWNA, B.C. V1Y 2H9 250-465-6345 E-mail: jmlamb@vintage.ca FAX 250-465-6447
	REVISIONS:			
	NOTES:			
	APPROVALS:			

1 PARKING
STALL AND
DRIVEWAY

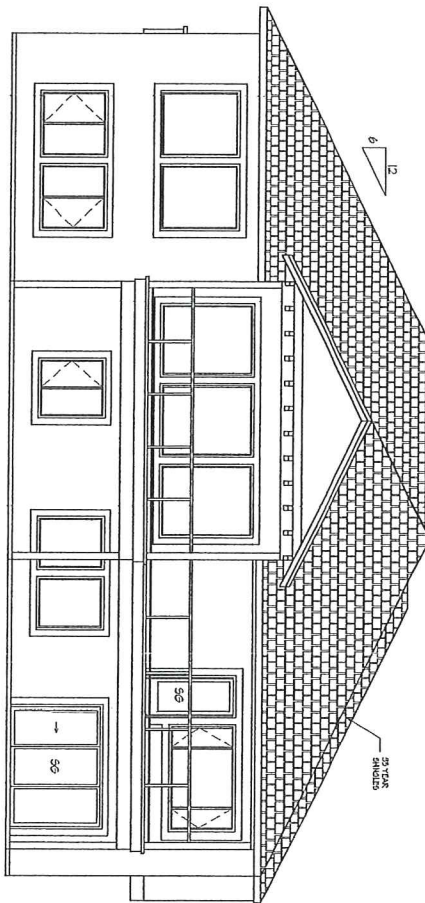
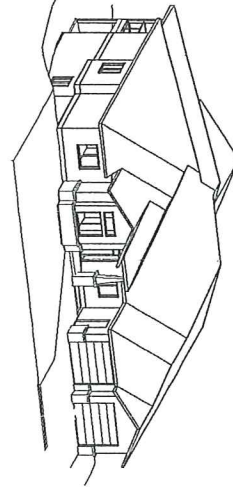
2 PARKING
STALLS IN
GARAGE

PROPOSED SUITE

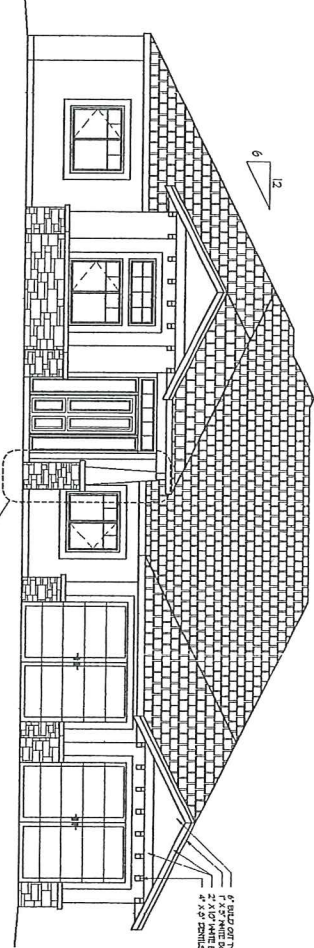
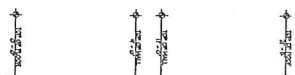
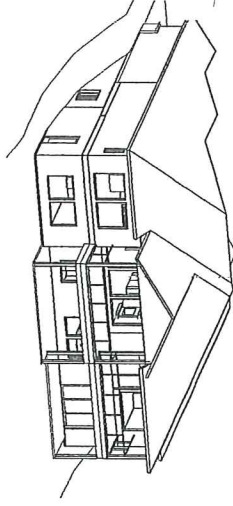


BASEMENT PLAN

NOTE: THE UNDERSIGNED IS NOT LIABLE FOR ANY
 DAMAGE TO THE PROPERTY OR PERSONS
 RESULTING FROM ANY NEGLIGENCE OR
 OMISSIONS IN THE DESIGN OR CONSTRUCTION
 OF THE PROJECT. THE UNDERSIGNED IS NOT
 RESPONSIBLE FOR ANY CHANGES OR
 OMISSIONS IN THE DESIGN OR CONSTRUCTION
 OF THE PROJECT. THE UNDERSIGNED IS NOT
 RESPONSIBLE FOR ANY CHANGES OR
 OMISSIONS IN THE DESIGN OR CONSTRUCTION
 OF THE PROJECT.



1 REAR ELEVATION
 SCALE: 1/4" = 1'-0"



2 FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

CONSTRUCTION
 DRAWINGS A 13-2010
 ISSUED MAY 13, 2010

DATE: 13-MAY-2010

SHEET:
A4
 OF: 6 SHEETS

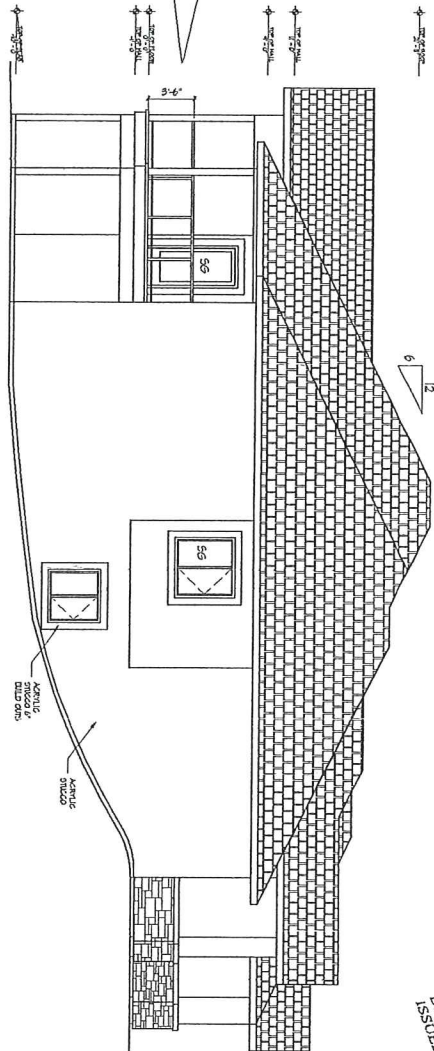
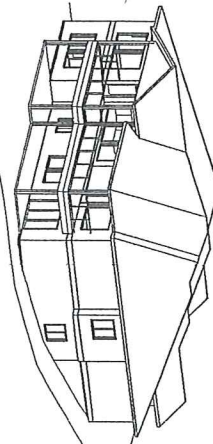
SCALE: 1/4" = 1'-0"
 DATE: MAY 11, 2010
 DRAWN BY: JIM LAMB
 REVISED: MAY 11, 2010

CUSTOMER: MR. & MRS. BHULLAR
 CONC: 1356 MONTENEGRO DRIVE,
 LEGAL: LOT 2, PLAN KAP 84278
 SUBDIVISION: KUSCHNER MOUNTAIN - PHASE 2

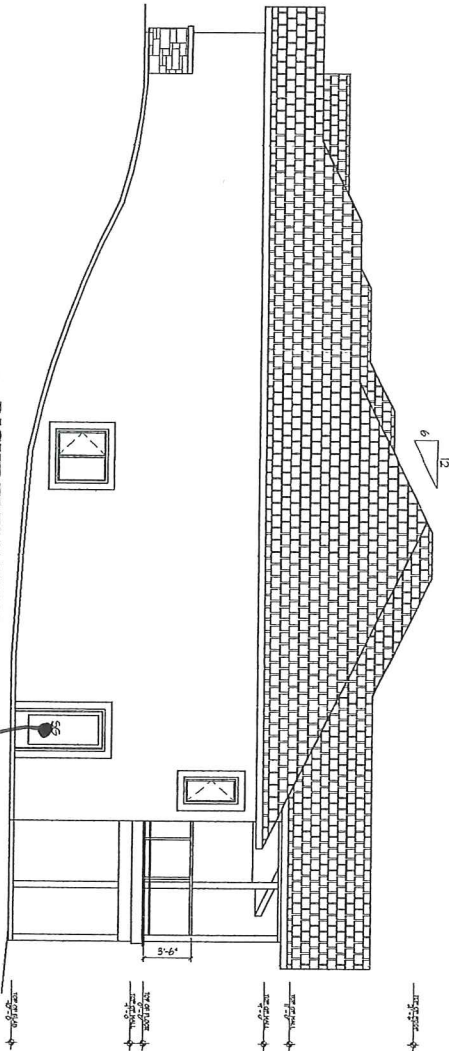
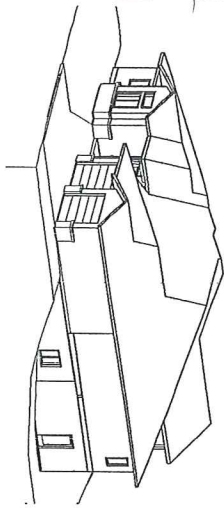
PROJECT: BHULLAR RESIDENCE
 SHEET TITLE: ELEVATIONS

VINTAGE
 DESIGN LTD.
 2129 CHILCOTIN CRES. KELOWNA, B.C. V1W 2T6 250-869-9345
 E-mail: jmlamb@shaw.ca FAX 250-869-9447

THIS DRAWING IS TO BE USED FOR ANY
 PROJECT ONLY. IT IS NOT TO BE USED FOR
 ANY OTHER PROJECT. ANY CHANGES
 TO THIS DRAWING MUST BE APPROVED
 BY THE ARCHITECT. ANY CHANGES
 MADE WITHOUT THE ARCHITECT'S
 APPROVAL ARE UNDESIRABLE AND
 WILL BE AT THE USER'S RISK.



1 LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

SOME EXTRAS

CONSTRUCTION
 DRAWMAN X 13.2010
 ISSUED MAY 13, 2010

SHEET: A5 OF 6 SHEETS	SCALE: 1/4" = 1'-0" DATE: MAY 11, 2010 DRAWN BY: JIM LAMB REVISED: MAY 13, 2010	CUSTOMER: MR. & MRS. BHULLAR ADDR: 1356 MONTENEGRO DRIVE, LEGAL: LOT 2, PLAN KAP 84278 SUBDIVISION: KUSCHNER MOUNTAIN - PHASE 2	PROJECT: BHULLAR RESIDENCE SHEET TITLE: ELEVATIONS	VINTAGE DESIGN LTD. 2128 CHILCOTIN CRES. KELOWNA, B.C. V1V 2N9 250-669-4345 Email: jmlamb@shaw.ca FAX 250-669-4447
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CITY OF KELOWNA

MEMORANDUM

Date: June 25, 2010
File No.: Z10-0048
To: Planning & Development Services Department (PMcV)
From: Development Engineer Manager (SM)
Subject: 1356 Montenegro Drive – Lot 2, Plan KAP84278, Sec. 13, Twp. 26, ODYD

Development Engineering Services comments and requirements regarding this application to rezone from RU1 to RU1s are as follows:

1. Subdivision

Provide easements as may be required

2. Sanitary Sewer.

The subject property is connected to the Municipal wastewater collection system.

3. Domestic Water.

The subject property is located within the Black Mountain Irrigation District (BMID). All charges and fees must be paid directly to BMID.

4. Miscellaneous.

- a) Parking is provided on site.
- b) This application does not trigger any offsite upgrades.

Steve Muenz, P.Eng.
Development Engineering Manager

BB